

Permit # _____



Washoe County

Department of Building & Safety

1001 E. Ninth Street
P.O. Box 11130
Reno, NV 89520-0027
Phone (775) 328-2020

FAX (775) 328-6132 or FAX (775) 325-8016
www.washoecounty.us/bldgsafety



RESIDENTIAL/REMODEL

BUILDING PERMIT APPLICATION

Parcel Number: _____ Address: _____	
Unit No. _____	
Owner Information:	
Owner/Builder Permit? ___ Yes ___ No	
Name: _____ Phone No: _____	
Address: _____	
Contractor Information:	
General Contractor: _____ Contact Name: _____	
Address: _____	
Phone : _____ Fax : _____	
Nevada License No. : _____ County Business License No.: _____	
Design Professional Information:	
Architect's Name: _____ Phone No.: _____	
Email: _____ Fax No.: _____	
Engineer's Name: _____ Phone _____	
Email: _____ Fax No.: _____	
Person to contact regarding the permit:	
Name: _____ Phone No.: _____	
Email: _____ Fax No.: _____	

Project Information: (Complete Applicable Items)

Contract Price: _____

Total Project Sq. Footage: _____

New Living Area Sq. Footage: _____

Remodel Sq. Footage: _____

Current Living Area Sq. Footage: _____

New Garage Sq. Footage: _____

Current Garage Sq. Footage: _____

New Covered Deck and Porch Sq. Footage: _____

New Deck and Porch Sq. Footage: _____

Patio Cover or Sunroom Sq. Footage: _____

Shed Sq. Footage: _____

Fence Lineal Footage: _____

Water Well: Yes No

Septic System: Yes No

Architectural Committee Yes No

Description of Work:

Applicant (print) _____ **Date:** _____

Signature _____

FOR OFFICE USE ONLY

RTC:

New Single Family Home Accessory Dwelling (second kitchen on site) N/A

Park Tax Determination:

New Dwelling on Vacant Lot Replace Existing Dwelling Built Prior To 1974 N/A

Building Code Information:

Edition of Code: _____ Building Code used: _____

Type of Construction: Wood Framing ~ Steel Framing Occupancy Use _____

Occupancy Group: Single Family Home ~ Townhouse ~ Duplex

Community Services Department
Planning and Building
**DETACHED ACCESSORY DWELLING
ADMINISTRATIVE REVIEW
APPLICATION**



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Administrative Review Permit for Detached Accessory Dwelling

Washoe County Code (WCC) Chapter 110, Section 110.306.25, Detached Accessory Dwelling Administrative Review, application is required to establish a detached accessory dwelling unit, with specific requirements for the regulatory zone where the dwelling unit will be located. The Director of the Planning and Building Division, or their designee, shall review the application request for compliance with the Development Code taking into consideration any testimony offered by affected property owners and the applicant. The Director, or their designee, may approve, approve with conditions, modify, modify with conditions, or deny the request. See WCC 110.306.25, for further information.

Development Application Submittal Requirements

1. **Fees:** See Master Fee Schedule. **Make check payable to Washoe County.**
2. **Development Application:** A completed Washoe County Development Application form and all supplemental questions.
3. **Owner Affidavit:** The Owner Affidavit must be signed and notarized by all owners of the property subject to the application request.
4. **Proof of Property Tax Payment:** The applicant must provide a written statement from the Washoe County Treasurer's Office indicating all property taxes for the current quarter of the fiscal year on the land have been paid.
5. **Application Materials:** The completed Administrative Review Permit for Detached Accessory Dwelling Application materials.
6. **Site Plan Specifications:**
 - a. Lot size with dimensions drawn using standard engineering scales (e.g. scale 1" = 100', 1" = 200', or 1" = 500') showing all streets and ingress/egress to the property.
 - b. Show the location and configuration of all proposed buildings (with distances from the property lines and from each other), all existing buildings that will remain (with distances from the property lines and from each other), all existing buildings that will be removed, and site improvements on a base map with topography expressed in intervals of no more than five (5) feet IF there is a difference in elevation of the two dwellings of five (5) feet or more
 - c. Show the all required yard setbacks, location and configuration of wells and well house, septic systems and leach fields, overhead utilities, water and sewer lines, and all easements.
 - d. Date, north arrow, scale and number of each sheet in relation to the total number of sheets, and the name of person preparing the plans.
7. **Building Elevations:** Elevations of the main dwelling unit and the detached accessory dwelling, existing or proposed for construction, shall be clearly depicted in vertical architectural drawings provided in accurate architectural scale. All architectural elevations from all building faces shall be presented. Photographs of existing buildings (all sides) may be submitted in place of elevations of existing building.
8. **Floor Plans:** Floor plans to scale with all rooms and spaces labeled for both the main dwelling unit and the detached accessory dwelling.
9. **Packets:** Three (3) paper packets and flash drive or DVD – any digital documents need to have a resolution of 300 dpi. One (1) packet must be labeled "Original" and contain a signed and notarized Owner Affidavit. Each packet shall include one (1) 8.5" x 11" reduction of any applicable site plan, development plan, and/or application map. These materials must be readable. Labeling on these

reproductions should be no smaller than 8 point on the 8½ x 11" display. Large format sheets should be included in a slide pocket(s).

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- Notes:
- (i) Application and map submittals must comply with all specific criteria as established in the Washoe County Development Code and/or the Nevada Revised Statutes.
 - (ii) Based on the specific nature of the development request, Washoe County reserves the right to specify additional submittal packets, additional information and/or specialized studies to clarify the potential impacts and potential conditions of development to minimize or mitigate impacts resulting from the project. No application shall be processed until the information necessary to review and evaluate the proposed project is deemed complete by the Director of Planning and Building.
 - (ii) **Labels:** If there is a mobile home park within five hundred (500) feet of the proposed project, the applicant is required to submit three (3) sets of mailing labels for every tenant residing in the mobile home park.
 - (iv) Please be advised that the Washoe County Director of the Planning and Building Division or their designee has the ability to determine if the application is incomplete, if it cannot be ascertain what the applicant is requesting, or if there is insufficient information to determine a favorable outcome.

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

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2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

--

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

--

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

--

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

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7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please attach a copy.
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please provide information on the secondary unit.
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10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service		
Electrical Service		
Solid Waste Disposal Service		
Water Service		

Property Owner Affidavit

Applicant Name: Kevin A Boege

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Kevin A Boege
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 050-388-08

Printed Name Kevin A Boege

Signed [Signature]

Address 2220 White Pine Dr.

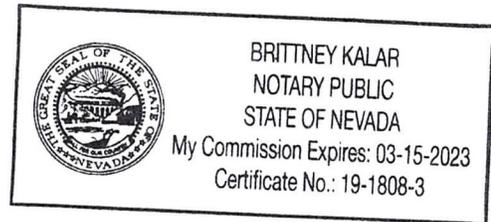
Washoe Valley NV 89704

(Notary Stamp)

Subscribed and sworn to before me this
3rd day of August, 2019.

[Signature] Carson City, Nevada
Notary Public in and for said county and state

My commission expires: 03-15-2023



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Property Owner Affidavit

Applicant Name: Cynthia Boege

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Cynthia Boege
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 050-388-08

Printed Name Cynthia Boege

Signed [Signature]

Address 2220 White Pine Dr

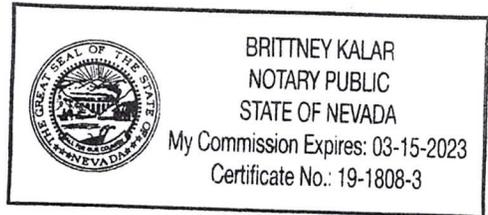
Washoe Valley, NV 89704

Subscribed and sworn to before me this
3rd day of August, 2019.

[Signature], Carson City, Nevada
Notary Public in and for said county and state

My commission expires: 03-15-2023

(Notary Stamp)



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Jurat Certificate California only

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Amador

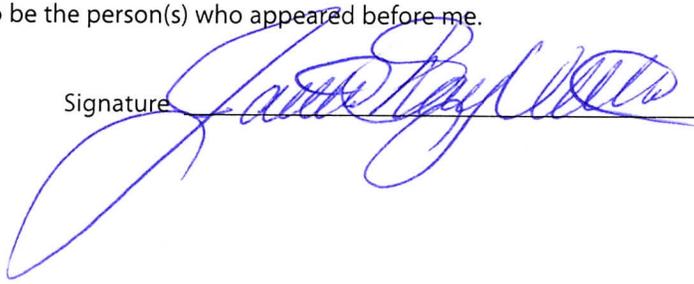
Subscribed and sworn to (or affirmed) before me on this 2nd

day of August, 2019, by Robert D. Doty

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

Place Seal Here

Signature



Description of Attached Document

Type or Title of Document

Property Owner Affidavit

Document Date

8/2/2019

Number of Pages

2

Signer(s) Other Than Named Above

Ø

Record data in Assessor's Books

WASHOE COUNTY DISTRICT HEALTH DEPARTMENT

BUILDING PERMIT # 26025 NAME John Cramer
 BEDROOMS 3 ADDRESS 2220 Lafayette
 BATHS 2 DATE 2/24/95
 BASEMENT _____ LOT _____ BLOCK _____
 WATER SUPPLY well SUBDIVISION New Washoe City
 ASSESSOR'S PARCEL # 050-388-08

SEPTIC TANK
 Distance from well 110 (feet) From foundation 12'
 SPECIFICATIONS: Jensen Liquid Capacity 1000
 TILE FIELD
 Distance from well 150 Nearest lot line 35' Direction NW
 Approximate direction of surface drainage of lot W % Slope _____

DRYWELL (Deep System)
 Total length of lines 40 Number of lines _____ Distance between lines _____
 Trench depth 12' Trench width 24" Total effective absorption area (sidewall) 600 ft.²

SURFACE LEACH SYSTEM
 Total length of lines _____ Number of lines _____
 Width of trench _____ Depth of trench _____ ft. x _____ ft.
 Leach bed dimensions _____
 Total effective absorption area, trench bottom _____, sidewall _____
 Depth, top of tile to finished grade 36"
 Depth of filler material above tile 6"
 Depth of cover over filler material 28"
 Type of filler material Crusher Rock

SOIL (Indicate Depths)
 Sand & Gravel Sandy D.O. Fine Sand 1'-12" Silty Sand 0'-3' Sandy Loam
 Clayey D.G. Clayey Sand Sandy Clay Clay
 Cobbles (interspersed) Fractured Rock (interspersed)
 Other soil types encountered _____ depths _____
 Degree of cementation: Loose Medium Hardpan
 Existing groundwater table encountered _____ depth _____
 Angular rock formations _____ depth _____
 Other relatively impervious strata _____
 Additional pertinent data _____

TEST HOLE REQUIRED (See Above)
 INSPECTED BY Erin FINAL APPROVAL BY David Clume HEP
 DATE 29 April 95 DATE _____

2220 Whiteline

Lot Blk

New Washoe City

Record data in Assessor's Books

WASHOE COUNTY DISTRICT HEALTH DEPARTMENT

BUILDING PERMIT # 26025 NAME John Crum
 BEDROOMS 3 ADDRESS 2220 Whiteline
 BATHS 2 DATE 2-24-75
 BASEMENT LOT BLOCK
 WATER SUPPLY Well SUBDIVISION New Washoe City
 AREA ASSESSOR'S PARCEL # 050-388-08

SEPTIC TANK

Distance from well 110 feet; From foundation 12 feet
 SPECIFICATIONS: Make (precast) Jensen Liquid Capacity 1,000

TILE FIELD

Distance from well 150 Nearest lot line 35 feet Direction northwest
 Approximate direction of surface drainage of lot west % Slope

DRYWELL (Deep System)

Total length of lines 40 Number of lines Distance between lines
 Trench depth 12 ft Trench width 24" Total effective absorption area (sidewall) 600 ft.²

SURFACE LEACH SYSTEM

Total length of lines Number of lines
 Width of trench Depth of trench ft.
 Leach bed dimensions ft. x ft.
 Total effective absorption area, trench bottom
 Depth, top of tile to finished grade 34 inches, sidewall
 Depth of filler material above tile 6 inches
 Depth of cover over filler material 28 inches
 Type of filler material crushed rock

SOIL (Indicate Depths)

Sand & Gravel Sandy D.G. Fine Sand 3'-12" Silty Sand 0-3' Sandy Loam
 Clayey D.G. Clayey Sand Sandy Clay Clay
 Cobbles (interspersed) Fractured Rock (interspersed) depths
 Other soil types encountered _____ depths
 Degree of compaction: Loose Medium Hardpan
 Existing groundwater table encountered _____ depth
 Angular rock formations _____ depth
 Other relatively impervious strata _____
 Additional pertinent data _____

TEST HOLE REQUIRED (See Above)

INSPECTED BY Kevin Frank FINAL APPROVAL BY Paul Stuve
 DATE 4-29-75 DATE 5-1-75

LL9

State of Nevada }
County of Washoe }

I, Eugene B. Langfield, do hereby certify that this plat is a true and accurate map of the land shown hereon, surveyed by me, and laid out into blocks, lots, streets and public places at the instance of the hereinafter signed owners; that the location of said blocks, lots, streets, and public places have been definitely established and perpetuated in strict accordance with the law and as shown hereon; that the blocks, lots, streets, and public places shown hereon are situated wholly within the East 1/2 and the East 1/4 of the West 1/2 of Section 31, T. 17 N. - R. 20 E. - M.D.B.M. and the survey was completed October 26, 1960.

Eugene B. Langfield
Registered Land Surveyor No. 886

State of Nevada } s.s.
County of Washoe }

This is to certify that the undersigned First Nevada Mortgage and Guarantee Co. are the owners of the tract of land represented on this plat and that the same is hereby executed in compliance with and subject to the provisions of "An act of the Legislature of the State of Nevada authorizing the owners of land to layout and plat such land into blocks, lots, streets, and public places, and providing for the approval and filing of the plats thereof. In witness whereof, the said owners have hereunto set their hands and affixed their corporate seal this 16th day of November, 1960.

FIRST NEVADA MORTGAGE & GUARANTEE CO.

By: Jack Douglas Vice President
John L. Dickolt Manager and Secretary

State of Nevada } s.s.
County of Washoe }

On this 16th day of November, 1960, personally appeared before me, a Notary Public in and for said county and state, Jack Douglas and John L. Dickolt known to me to be the Vice President and the Manager and Secretary respectively, of the corporation that executed the foregoing instrument, and upon oath did depose that they are the officers of said corporation as above designated; that they are acquainted with the seal of said corporation, and that the seal affixed to said instrument is the seal of said corporation; that the signatures to said instrument were made by the officers of said corporation as indicated after said signatures, and that the said corporation executed the said instrument freely and voluntarily and for the uses and purposes therein mentioned. In witness whereof, I have hereunto set my hand and affixed my official seal at my office in the County of Washoe, State of Nevada, the day and year in this certificate first above written.

Charles E. Pace
Notary Public in and for the County of Washoe
State of Nevada

My commission expires: October 8, 1964

Approved and accepted this 5th day of DECEMBER, 1960 by the Board of County Commissioners of Washoe County, Nevada.

Attest: Ben Winn Chairman
H.K. Brown Clerk
John L. Dickolt County Clerk

A tentative map of this subdivision was approved by the Regional Planning Commission of Reno, Sparks, and Washoe County on the 15th day of March, 1960.

Arnold D. Pitts
Chairman

I certify that I have examined this map, consisting of three sheets, and that all provisions of all acts and ordinances applicable have been complied with, and that I am satisfied that this map is technically correct.

Eugene B. Langfield
County Surveyor

The easements on this map have been checked and approved by Sierra Pacific Power Co. and Bell of Nevada
Frank L. Pittman W. C. Hummer
S. P. Co. Bell of Nevada

File No. 329956 File No. 329956

Filed for record at the request of Jack Douglas, Mgr. + Guarantor
On 11-19-60 at 5 minutes past 11 o'clock A.M.
Records of Washoe County, Nevada.

Debra B. Boyd
County Recorder

Candym Estlin
Deputy

Fee: \$ 59.25

1 of 3 sheets

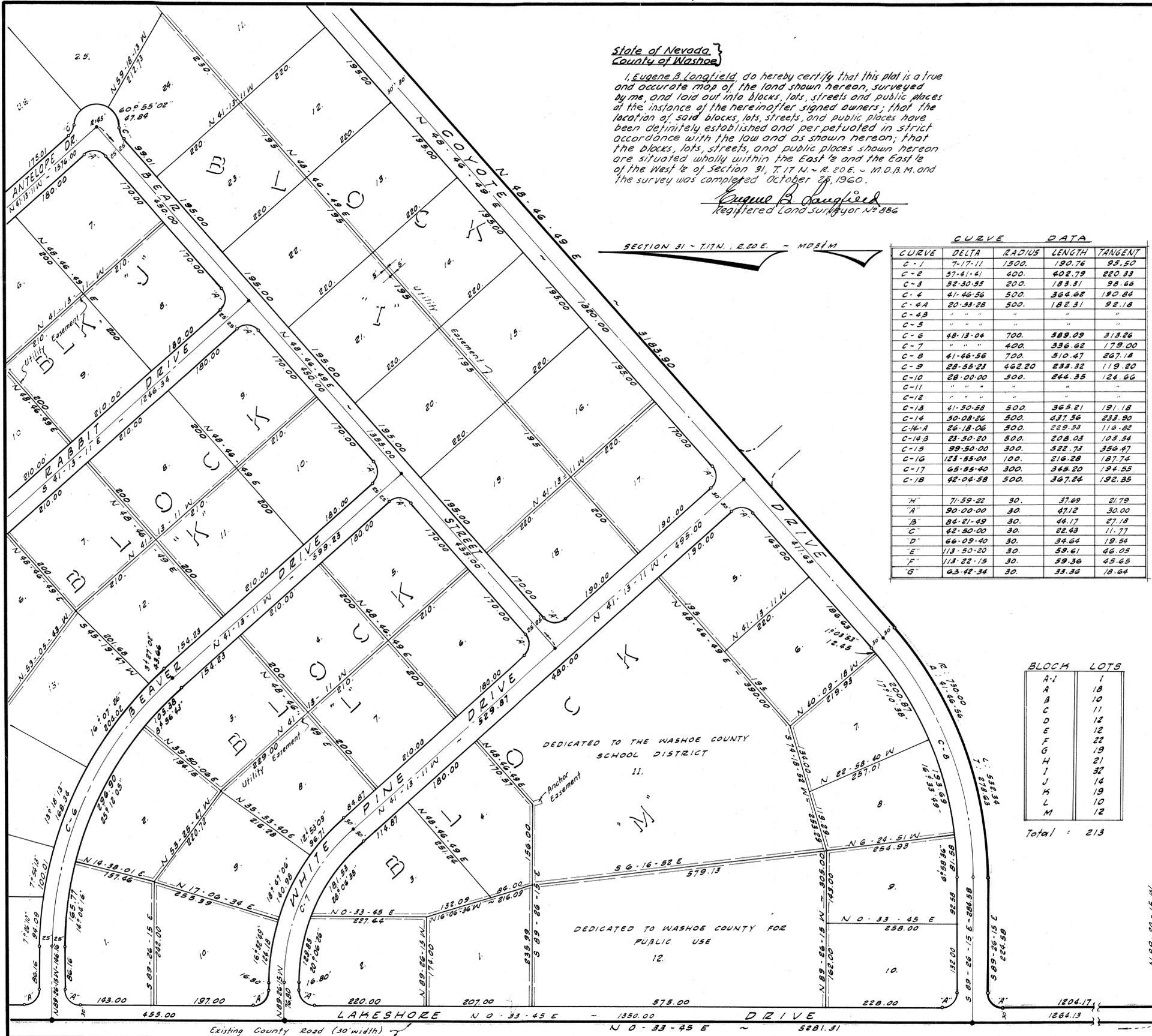
LONGFIELD ENGINEERING
44 W. ARKADIA STREET
RENO - NEVADA

677

CURVE	DELTA	RADIUS	LENGTH	TANGENT
C-1	7-17-11	1500	190.76	95.50
C-2	57-41-41	400	402.79	220.39
C-3	52-30-55	200	189.31	98.66
C-4	41-46-56	500	364.62	190.84
C-4A	20-53-28	500	182.31	92.18
C-4B	"	"	"	"
C-5	"	"	"	"
C-6	48-13-04	700	589.09	313.26
C-7	"	400	396.62	179.00
C-8	41-46-56	700	510.47	267.18
C-9	28-55-23	462.20	233.32	119.20
C-10	28-00-00	500	264.35	124.66
C-11	"	"	"	"
C-12	"	"	"	"
C-13	41-50-58	500	365.21	191.18
C-14	50-09-26	500	437.56	233.90
C-14A	26-18-06	500	229.53	116.82
C-14B	23-50-20	500	208.03	103.54
C-15	99-50-00	300	322.73	356.47
C-16	123-55-00	100	216.28	187.74
C-17	65-55-40	300	345.20	194.55
C-18	42-04-58	500	367.24	192.35
H	71-59-22	30	37.89	21.79
A	90-00-00	30	47.12	30.00
B	84-21-49	30	44.17	27.18
C	42-50-00	30	22.43	11.77
D	66-09-40	30	34.64	19.54
E	113-50-20	30	59.61	46.05
F	113-22-15	30	59.36	45.65
G	63-42-34	30	33.36	18.64

BLOCK	LOTS
A-1	1
A	18
B	10
C	11
D	12
E	12
F	22
G	19
H	21
I	32
J	14
K	19
L	10
M	12

Total = 213



NEW WASHOE CITY SUBDIVISION NO. 3

Washoe County, Nevada

Scale 1"=100'

Sheet 1 of 3 Sheets

677

CUMULATIVE INDEXES
SHOULD BE EXAMINED
FOR ANY SUBSEQUENT
CHANGES TO THIS MAP

NOTE: SEE SHEET A01 FOR THE WILDLAND URBAN INTERFACE CODE (WUI) PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. ALL ELEMENTS OF CONSTRUCTION, I.E.: ROOFS, EAVES, FASCIA, VENTS, EXTERIORS AND WALLS, WINDOWS, DOORS, APPENDAGES, I.E.: DECKS, ENCLOSED UNDERFLOOR, AND GUTTERS AND DOWNSPOUTS SHALL STRICTLY COMPLY WITH ALL REQUIREMENTS OF THIS CODE.

NOTE: SEE GEOTECHNICAL REPORT AS MAY BE REQUIRED FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR AND EXCAVATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH GEOTECH REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.

NOTE: PROVIDE RADON TESTING AS MAY BE REQUIRED FOR THIS AREA. EXCESSIVE RADON GASES SHALL BE MITIGATED USING A PASSIVE OR ACTIVE RADON REDUCTION SYSTEM AS MAY BE RECOMMENDED IN RADON REPORT AND/OR COUNTY ORDINANCES. CONTRACTOR, FOUNDATION AND EXCAVATION CONTRACTORS TO FAMILIARIZE THEMSELVES WITH THE RADON REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.

NOTE: THIS BOUNDARY AND TOPOGRAPHY MAP HAS BEEN PREPARED BY USING COORDINATES AS RECEIVED FROM APPROPRIATE AGENCIES. PAR 3 DESIGN GROUP ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED HEREIN.

NOTE: SEE PROJECT SPECIFICATIONS, SHEET SP-1, FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.

NOTE: DESIGN-BUILD EXCAVATION CONTRACTOR TO PROVIDE EROSION CONTROL PER A1.1 AND A1.2 AND THE CITY AND/OR COUNTY CODE, SEE EROSION CONTROL NOTES, SHEET A1.2.

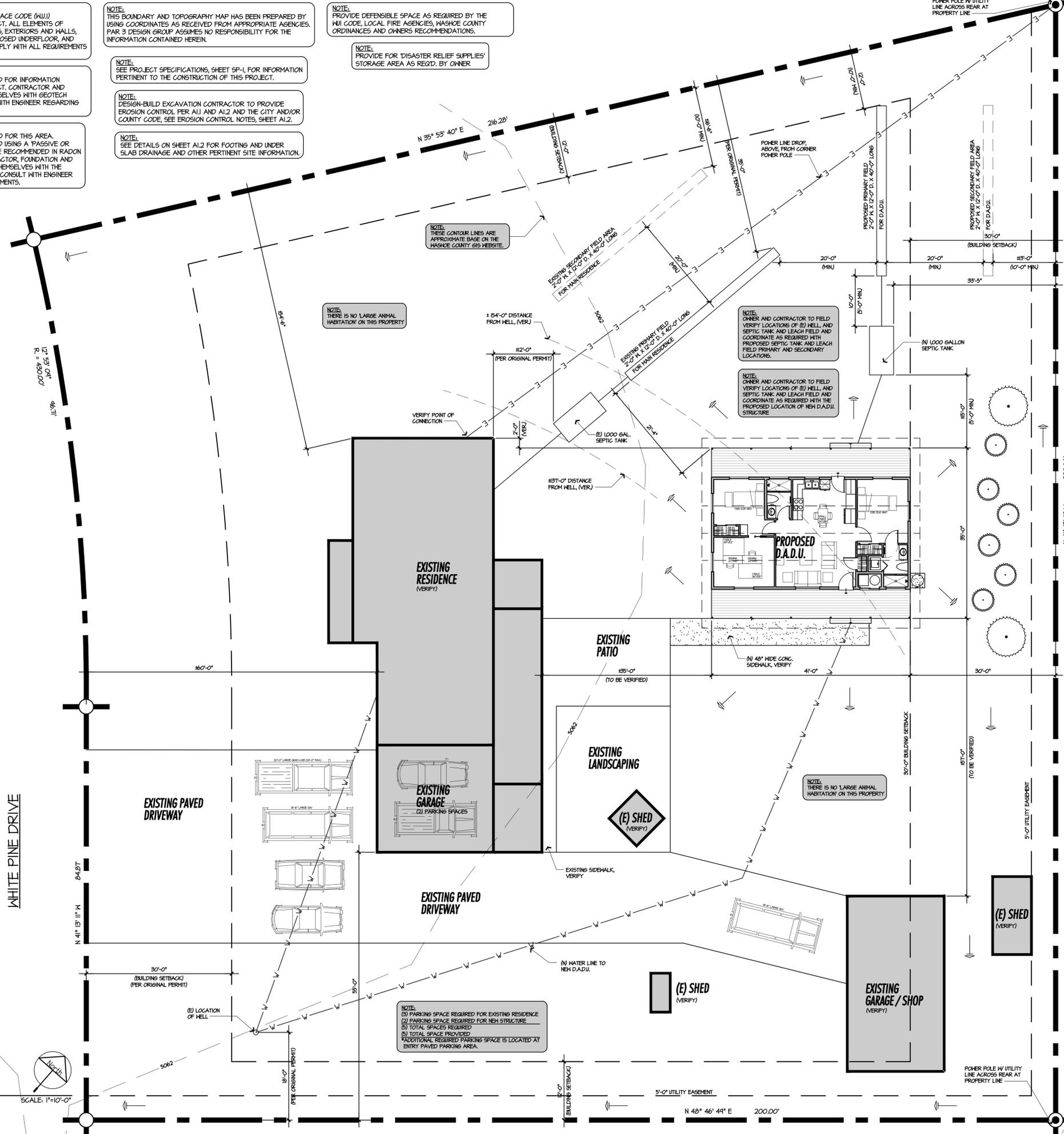
NOTE: SEE DETAILS ON SHEET A1.2 FOR FOOTINGS AND UNDER SLAB DRAINAGE AND OTHER PERTINENT SITE INFORMATION.

NOTE: PROVIDE DEFENSIBLE SPACE AS REQUIRED BY THE WUI CODE, LOCAL FIRE AGENCIES, WASHOE COUNTY ORDINANCES AND OWNERS RECOMMENDATIONS.

NOTE: PROVIDE FOR 'DISASTER RELIEF SUPPLIES' STORAGE AREA AS REQ'D. BY OWNER

FILED FOR REPORT 19119002, Boege-Doty Detached Accessory Dwelling Unit, 2220 White Pine Drive, Washoe County, Nevada 19002-A1.1.dwg, 10/16/2019 11:03:24 AM, DWG To PDF.p3

ARCHITECTURAL SITE PLAN



- LANDSCAPE LEGEND:**
- EVERGREEN TREES**
 - A JEFFREY PINE (PINUS JEFFREYI) - 40'-0" TALL
 - B AUSTRIAN PINE (PINUS NIGRA) - 40'-0" TALL
 - C BOSNIAN PINE (PINUS LEUCODEMIS) - 40'-0" TALL
 - D BLUE SPRUCE (PICEA PUNGENS) - 40'-0" TALL
 - E SCOTCH PINE (PINUS SYLVESTRIS) - 40'-0" TALL
 - DECIDUOUS TREES**
 - F RIVER BIRCH (BETULA NIGRA) - (2" MIN)
 - G NORWAY MAPLE (ACER PLATANOIDES) - (2" MIN)
 - H WHITE ASH (FRAXINUS AMERICANA) - (2" MIN)
 - I SHEETPINE (QUERCUS LAEVOGLOBOSA) - (2" MIN)
 - J RED MAPLE (ACER RUBRUM) - (2" MIN)
 - FLOWERING TREES**
 - K EASTERN REDBUD (CERCIS CANADENSIS) - 2" MIN. CAL.
 - L FLOWERING PEAR (PYRUS CALLERYANA) - 2" MIN. CAL.
 - SMALL TREES**
 - M JAPANESE TREE LILAC (SYRINGA RETICULATA)
 - N DWARF SPRUCE VARIETIES (PICEA SPECIES)
 - GROUND COVER** (SPACED TO COVER IN 5 YEARS)
 - EVERGREEN**
 - O COTONEASTER VARIETIES (COTONEASTER)
 - P MISO PINE (PINUS HIBISCUS)
 - Q CLEMATIS VARIETIES (CLEMATIS SPECIES)
 - R JUNIPER (JUNIPERUS HORIZONTALIS)
 - DECIDUOUS**
 - S BURNING BUSH (EKBONYMUS ALTS COMPACTA)
 - T BARBERRY (BERBERIS SPECIES) (RED OR YELLOW)
 - U CINQUEFOIL (POTTENTILLA)
 - V DWARF BLUE ARCTIC WILLOW (SALIX PURPUREA NANA)
 - GRASS**
 - W BLUE OAT GRASS (HELICTOTRICHON SEMPERVIRENS)
 - X ALL SHRUBS TO BE (5) GAL. MIN AND PLANTED AT 3'-0" O.C. MIN. ALL PERENNIALS TO BE (1) GAL. MIN. AND PLANTED AT 3'-0" O.C.
 - FLOWERING PERENNIALS**
 - Y WALL FLOWER
 - Z SELF HEAL PRUNELLA
 - AA SHASTA DAISY
 - AB DAYLILLY
 - AC DWARF PLUMBAGO
 - AD SEA THRIFT
 - AE SANTOLINA
 - AF SPIREAE - VARIETY TO BE SELECTED BY LANDSCAPE CONTRACTOR. 5 GAL. MIN. SIZE - PLACED @ 3'-6" O.C. MAX.
 - OTHER AREAS:**
 - LANDSCAPE ROCK RETAINING WALL, SEE DETAIL 9/A1.3.
 - BOULDERS-SEE LANDSCAPE DETAILS AND CONTRACTOR FOR PLACEMENT
 - PAVERS OR STAMPED CONCRETE-SEE ROCK WALL FOR COLOR, SHEET A3.1
 - LAWN AREA SLOPE 1/4" PER 1'-0" MIN.
- NOTE:**
- VERIFY SPECIAL REQUIREMENTS 4/OR PERMITS FOR PLANTING IN RIGHT-OF-WAY AREAS.
 - COORDINATE DESIGNATED PLANTING AREAS 4/OR TREES WITH NEIGHBORS VIEWS AS REQUIRED BY HOMEOWNERS ASSOCIATION.
 - PROVIDE A FULLY AUTOMATED IRRIGATION SYSTEM CONTROLLED BY AN AUTOMATIC TIMER WITH A DRIP SYSTEM AT ALL TREES AND SHRUBS AND SPRINKLERS AT ALL LAWN AREAS PER A.C.C. GUIDELINES AND REQUIREMENTS.

SITE DATA:

ADDRESS: 2220 WHITE PINE DRIVE, WASHOE VALLEY, NEVADA
 A.P.N.: 050-388-08
 LAND USE ZONE: LDS
 SITE AREA: .46 ACRE (41,818 SQUARE FEET)
 BUILDING SETBACKS
 FRONT: 30'-0"
 SIDES: 12'-0" EACH SIDE
 REAR: 30'-0"

SITE PLAN GENERAL NOTES:

- SEE PROJECT SPECIFICATIONS, SHEET SP-1, FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR TO FIELD VERIFY EXISTING FIELD CONDITIONS (I.E.: UTILITIES, SETBACKS, HEIGHT RESTRICTIONS, CONTOURS, ETC.) AND COMPLY WITH WASHOE COUNTY ORDINANCES. REVEGETATE ALL DISTURBED AREAS.
- ALL AREAS TO REMAIN UNDISTURBED MUST BE PROTECTED DURING CONSTRUCTION. CONTRACTOR TO ROPE OFF ACTUAL CONSTRUCTION AND MATERIAL STAGING AREA, VERIFY EXTENT W/ SOMERSETT. VEHICLE AND CONSTRUCTION EQUIPMENT PARKING TO COMPLY WITH SOMERSETT REQUIREMENTS.
- THE GRADE AWAY FROM THE FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'-0" PER IRC R401.3. SEE ALSO EXCEPTION WHERE CONDITIONS PROHIBIT FULL COMPLIANCE. FIELD VERIFY ALL EXISTING AND PROPOSED CONDITIONS, AND COORDINATE WITH SITE PLAN, FOUNDATION PLAN (STACKED OR HUNG JOISTS) AND CODE REQUIRED SITE DRAINAGE. ALL DRAINAGE SHALES TO SLOPE 1% MIN. TO EROSION CONTROL BASIN AS SHOWN.
- PAVER AND/OR CONCRETE FLATWORK TO BE FIELD VERIFIED.
- COORDINATE LANDSCAPE LIGHTING REQUIREMENTS WITH OWNER AND THE SOMERSETT AESTHETIC GUIDELINES.
- SLOPE LANDSCAPE AREAS A MIN. OF 1/4" PER 1'-0", FOR DRAINAGE.
- ALL WORK MUST CONFORM W/ LOCAL BUILDING CODES, CITY, COUNTY, 4/OR STATE ORDINANCES AND REGULATIONS AND THE 2012 IRC.
- PLACEMENT OF STRUCTURE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NOTIFY OWNER & DESIGNER OF ANY DISCREPANCIES, ALL EXISTING PROPERTY LINES, EASEMENTS & SETBACKS TO BE VERIFIED PRIOR TO START OF CONSTRUCTION.
- TOPOGRAPHY MAP, INCLUDING BOUNDARY LINE, CONTOURS, (E) SPOT ELEVATIONS, TREES AND UTILITY LOCATIONS PROVIDED BY OTHERS. CONTRACTOR TO VERIFY EXISTING CONDITIONS AS REQUIRED.
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO ANY ACTUAL WORK.
- PROVIDE UFER GROUND ELECTRODE AND GROUNDING ELECTRODE CONDUCTOR PER 2012 IRC AND THE CURRENT EDITION OF THE ELECTRICAL CODE, MIN. 20'-0" #4 BARE COPPER WIRE.
- ALL PROPOSED YARD DRAINS TO DAYLIGHT OR DRY WELL AS REQ'D.
- PROVIDE PERIMETER FOUNDATION DRAINS TO DAYLIGHT OR DRY WELL AS REQUIRED.
- PROVIDE SUMP PUMPS IN CRAWL SPACE AREA TO PROPERLY DRAIN ENTIRE AREA AS MAY BE REQUIRED BY SEASONAL FLOODING, VERIFY, COORDINATE WITH FOUNDATION DRAINAGE.

Revisions

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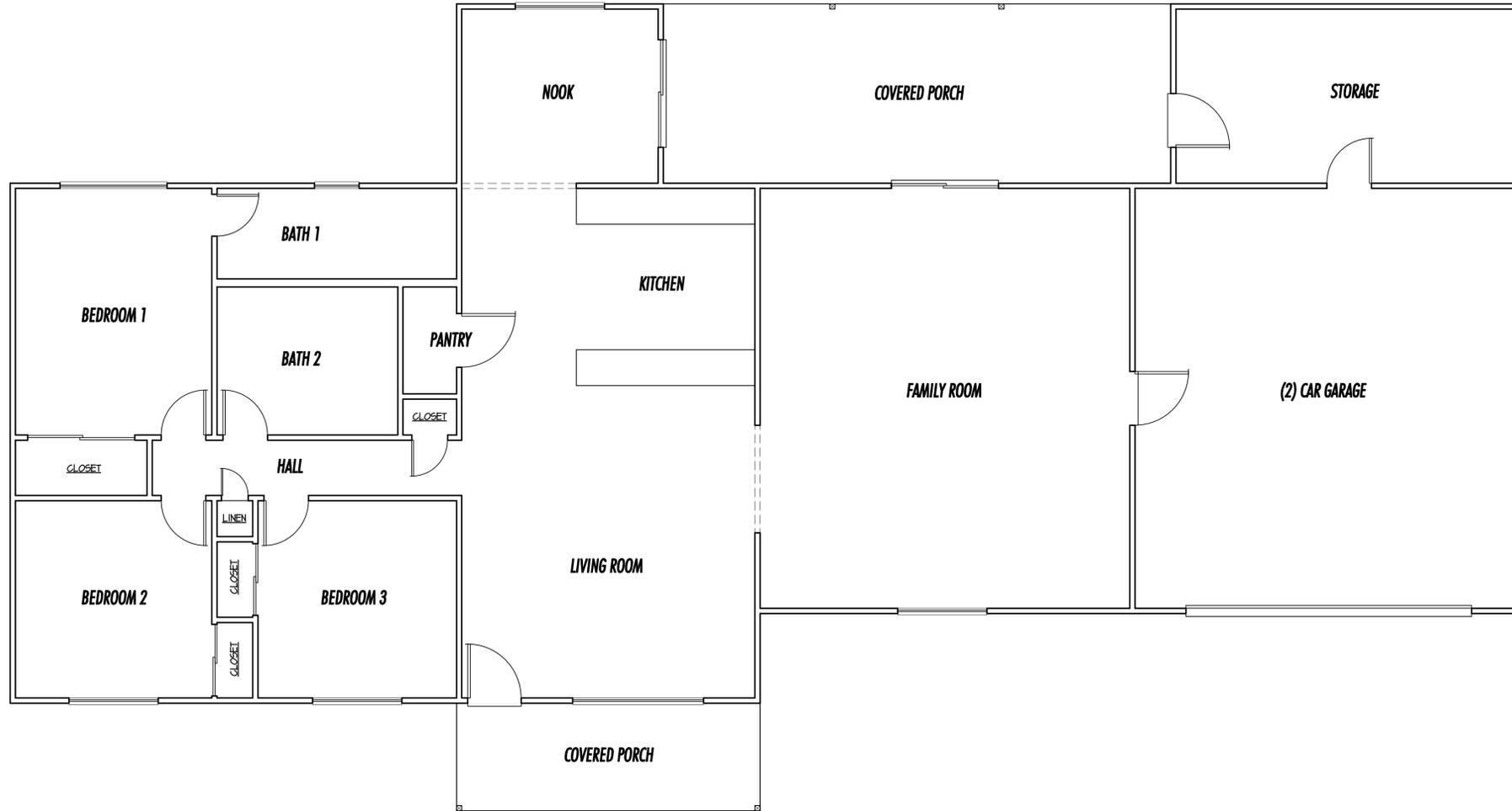
A Detached Accessory Dwelling Unit
 Kevin and Cynthia Boege,
 Bob Doty & Audrey Greene
 2220 White Pine Drive
 Washoe Valley, Nevada 89710
 APN: 050-388-08

SITE PLAN

Drawn & Checked by: DB
 Date: October 15, 2019
 Scale: 1/8" = 1'-0"
 Job No.: 19002

Administrative Review

SHEET
A1.1R
 1 OF 4 SHEETS



SQUARE FEET
 1,122 SQ. FT. (GROSS) AT MAIN RESIDENCE FLOOR AREA (PER ASSESSOR)

EXISTING MAIN RESIDENCE FLOOR PLAN

00 02 04 08 FEET

SCALE: 1/4"=1'-0"

Revisions

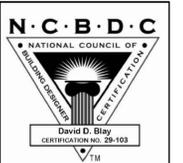
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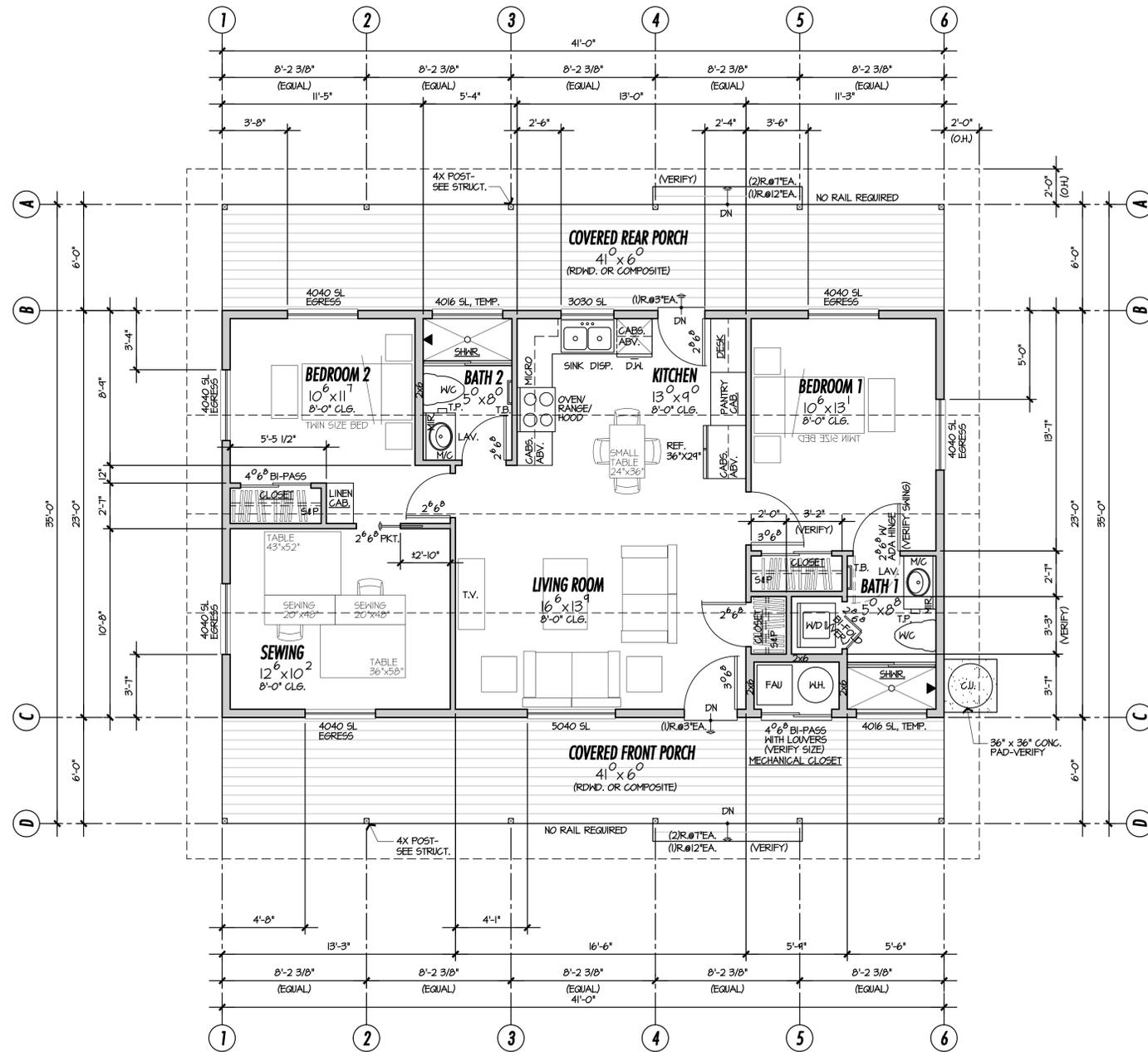
FLOOR PLAN



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 Date: October 15, 2019
 Scale: 1/4" = 1'-0"
 Job No.: 19002

Administrative Review
 SHEET
A2.0R
 2 OF 4 SHEETS

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FLOOR PLAN

NOTE: ALL DIMENSIONS ARE TO INTERIOR FACE OF STUD WALL AND ARE APPROXIMATE.
SCALE: 1/4"=1'-0"

00 02 04 08 FEET

NOTE: SEE PROJECT SPECIFICATIONS, SHEET SP-1, FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.

NOTE: DESIGN-BUILD EXCAVATION CONTRACTOR TO PROVIDE EROSION CONTROL PER A.1 AND A.2 AND THE CITY AND/OR COUNTY CODE, SEE EROSION CONTROL NOTES, SHEET A.13.

NOTE: SEE DETAILS ON SHEET A.12 FOR FOOTING AND UNDER SLAB DRAINAGE AND OTHER PERTINENT SITE INFORMATION.

NOTE: PROVIDE DEFENSIBLE SPACE AS REQUIRED BY THE HUI CODE, LOCAL FIRE AGENCIES, WASHOE COUNTY ORDINANCES AND OWNERS RECOMMENDATIONS.

NOTE: PROVIDE FOR 'DISASTER RELIEF SUPPLIES' STORAGE AREA AS REQ'D. BY OWNER

NOTE: SEE SHEET A.0.1 FOR THE WILDLAND URBAN INTERFACE CODE (WUI) PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. ALL ELEMENTS OF CONSTRUCTION I.E., ROOFS, EAVES, FASCIA, VENTS, EXTERIORS AND WALLS, WINDOWS, DOORS, APPENDAGES, I.E., DECKS, ENCLOSED UNDERFLOOR, AND GUTTERS AND DOWNSPOUTS SHALL STRICTLY COMPLY WITH ALL REQUIREMENTS OF THIS CODE.

NOTE: SEE GEOTECHNICAL REPORT AS MAY BE PROVIDED BY GEOTECHNICAL ENGINEER FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR AND EXCAVATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH GEOTECH REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.

NOTE: PROVIDE RADON TESTING AS REQUIRED FOR THIS AREA EXCESSIVE RADON GASES SHALL BE MITIGATED USING A 'PASSIVE OR ACTIVE' RADON REDUCTION SYSTEM AS RECOMMENDED IN RADON REPORT AS MAY BE PROVIDED BY GEOTECHNICAL ENGINEER. CONTRACTOR, FOUNDATION AND EXCAVATION CONTRACTORS TO FAMILIARIZE THEMSELVES WITH THE RADON REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.

CRAWL SPACE VENTILATION

CRAWL SPACE VENTS = (14) AT 24 SQ. FT. (8"X16") = 125 S.F. (MIN. PROVIDED)
CRAWL SPACE VENTS = (4) AT 24 SQ. FT. (8"X16") = 36 S.F. (MIN. SEE BELOW)
TOTAL VENT AREA PROVIDED = 125 S.F.
TOTAL VENT AREA REQ'D. PER CODE = 1650 SF / 150 = 11.0 S.F. (MIN. SEE BELOW)
TOTAL VENT AREA REQ'D. PER CODE = 1650 SF / 1500 = 1.1 S.F. (MIN. SEE BELOW)
(SEE NOTE BELOW FOR ABSOLUTE MINIMUM VENTING REQUIREMENTS, NOT RECOMMENDED.)

NOTE: FOUNDATION VENTS SHALL BE PERMITTED TO BE REDUCED TO 1/500 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS COVERED WITH AN APPROVED CLASS I VAPOR RETARDER (0.1 PERM OR LESS) PER IRC SECTIONS R408.1 AND R408.2 AND LOCAL ORDINANCES. A MINIMUM OF (4) FOUNDATION VENTS LOCATED WITHIN 3'-0" OF BUILDING CORNERS AND PROVIDING CROSS VENTILATION SHALL BE PROVIDED.

SQUARE FEET

943 SQ. FT. AT GROSS 'FLOOR' AREA
928 SQ. FT. AT GROSS 'LIVING' AREA (MINUS MECHANICAL SPACE)
861 SQ. FT. AT NET 'LIVING' AREA
1722 SQ. FT. GROSS 'LIVING' AREA AT MAIN RESIDENCE FLOOR AREA (PER ASSESSOR)
861 SQ. FT. MAX. ALLOWED AT 50% OF MAIN RESIDENCE
861 SQ. FT. NET 'LIVING' AREA MAX. PROPOSED AT NEW D.A.D.U.
246 SQ. FT. AT COVERED FRONT PORCH
246 SQ. FT. AT COVERED REAR PORCH

LEGEND

- NEW WOOD FRAME WALLS- SEE STRUCT.
- NEW WOOD FRAME BEARING WALLS- SEE STRUCT.
- NEW CONCRETE RETAINING WALLS- SEE STRUCT.

FLOOR PLAN NOTES:

- 0) SEE PROJECT SPECIFICATIONS, SHEET SP-1, FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
- 1) CONTRACTOR TO VERIFY EXISTING AND PROPOSED CONDITIONS AND COORDINATE AS REQ'D. TO COMPLY W/ WASHOE COUNTY AND APPLICABLE ORDINANCES AND THE 2018 IRC.
- 2) EXTERIOR WALLS: 2x6 STUDS PER STRUCT. DWGS. W/ R-21 BATT INSUL.-MIN. UNO.
- 3) INTERIOR WALLS: 2x4 STUDS @ 16" O.C. AND/OR AS SHOWN OR REQ'D.-SEE STRUCTURAL DRAWINGS, UNO.
- 4) PROVIDE WATER-RESISTANT GYPSUM BACKING BOARD AT LOCATIONS REQUIRED PER IRC SECTIONS R307.2, R102.3 & R102.4. PROVIDE 'DENSESHIELD' TILE BACKER BOARD BY GEORGIA-PACIFIC (OR EQUAL), AT ALL WALL TILE ASSEMBLIES IN STRICT COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS. PROVIDE CORROSION RESISTANT ATTACHMENT PER MANUFACTURER'S RECOMMENDATIONS FOR THESE LOCATIONS. SEE IRC SECTIONS R102.3 AND R102.4. NOTE: 'GREEN BOARD' CANNOT BE USED AS A TILE BACKER BOARD.
- 5) PROVIDE SOUND ATTENUATION BLANKETS AT ALL INTERIOR PLUMBING WALLS, AT WALL AREAS WITH DRAIN LINES AND AS REQ'D. BY OWNER.
- 6) CONTRACTOR TO VERIFY OVERHEAD GARAGE DOOR REQUIREMENTS AND COORDINATE AS REQUIRED.
- 7) PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER IRC SECTION R308, INCLUDING TUB AND SHOWER SURROUNDS PER IRC R308.4.
- 8) ALL WINDOWS TO BE CENTERED IN ROOM IN WHICH THEY ARE LOCATED OR WITHIN 4" OR 6" OF ADJACENT HALL UNLESS NOTED OTHERWISE.
- 9) ALL DOORS TO BE LOCATED AT CENTERLINE OF COMMON FEATURE (I.E., ROOF RIDGE) OR WITHIN 4" OR 6" OF ADJACENT WALLS UNLESS NOTED OTHERWISE.
- 10) STAIR AND STAIR HANDRAIL TO BE BUILT IN STRICT ACCORDANCE WITH IRC SECTION R311.7. PROVIDE STAIR GUARDRAILS PER IRC SECTION R312.
- 11) PROVIDE A MIN. OF (1) 22"x30" ATTIC ACCESS, TO EACH INDIVIDUAL ATTIC AREA WITH A MINIMUM HEIGHT OF 30". PER IRC SECTION R307.1.
- 12) PROVIDE A MIN. OF (1) 18"x24" CRAWL SPACE ACCESS TO EACH INDIVIDUAL CRAWL SPACE AREA PER IRC SECTION R408.4. PROVIDE CRAWL SPACE VENTILATION PER IRC SECTIONS R408.1 & R408.2 &/OR LOCAL ORDINANCES. CUT VENTS INTO STEMWALL (ABOVE GRADE) &/OR PROVIDE MECHANICAL VENTILATION AS REQUIRED.
- 13) PROVIDE ZERO-CLEARANCE GAS APPLIANCE AT LOCATIONS SHOWN ON DRAWINGS WITH W/ MANTEL, NON-COMBUSTIBLE HEARTH, SEALED DOORS AND COMBUSTION AIR AS REQ'D. PER IRC SECTIONS R1003.9 & R1003.10. SEE ALSO IRC CHAPTERS 10, 11, 18 & 24 AND LOCAL ORDINANCES. VERIFY DESIGN WITH OWNER &/OR DESIGNER.
- 14) PROVIDE WOOD STOVE APPLIANCE AT LOCATIONS SHOWN ON DWGS. W/ MANTEL, SURROUND, NON-COMBUSTIBLE HEARTH, SEALED DOORS AND COMBUSTION AIR AS REQ'D. PER IRC CHAPTER 10. SEE ALSO IRC CHAPTERS 11, 18 & 24 AND LOCAL ORDINANCES. VERIFY DESIGN WITH DESIGNER &/OR OWNER.
- 15) PROVIDE FIREPLACE MANTEL AND SURROUND PER IRC CHAPTER 10 AND PER OWNERS INSTRUCTIONS. VERIFY DESIGN WITH DESIGNER &/OR OWNER.
- 16) PROVIDE UL LISTED CHIMNEY CAP PER IRC AND LOCAL ORDINANCES AS REQUIRED.
- 17) PROVIDE LOW CEILING AND CHASE AREAS AS REQUIRED TO ALLOW FOR MECHANICAL DUCTING. CONTRACTOR TO FIELD VERIFY MECHANICAL DUCTING REQUIREMENTS PRIOR TO START OF CONSTRUCTION.
- 18) PROVIDE COMBUSTION AIR FOR MECHANICAL EQUIPMENT AT LOCATIONS SHOWN IN GARAGE. PROVIDE A MIN. OF (2) 8"x16" COMBUSTION AIR LOUVERS; (1) LOCATED WITHIN 12" OF FLOOR AND (1) LOCATED WITHIN 12" OF CEILING. SEE IRC CHAPTER 11 AND LOCAL ORDINANCES.
- 19) PROVIDE FOR FRESH AIR AT A RATE OF 15 CU. FT. PER MINUTE PER OCCUPANT AT 'INTERIOR' ROOM LOCATION ONLY. PROVIDE 8" DUCT W/ DAMPER INTERCONNECTED WITH REQ'D. ARTIFICIAL LIGHT. SEE IRC SECTION R303.
- 20) SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF MOMENT FRAMES, INTERIOR BEARING WALLS, INTERIOR SHEAR WALLS, INTERIOR POSTS / COLUMNS AND OTHER STRUCTURAL REQUIREMENTS.

Revisions

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ARCHITECTURAL COMMITTEE STAMP

A Detached Accessory Dwelling Unit
Kevin and Cynthia Boege,
Bob Doty & Audrey Greene
2220 White Pine Drive
Washoe Valley, Nevada 89404
APN: 050-388-08

FLOOR PLAN



Drawn & Checked by: DB
Date: October 15, 2019
Scale: 1/4" = 1'-0"
Job No.: 19002

Administrative Review
SHEET
A2.1R
3 OF 4 SHEETS

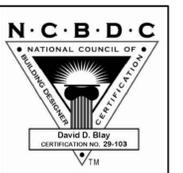
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Washoe Valley, Nevada 89104
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EXTERIOR ELEVATIONS



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4 OF 4 SHEETS

ELEVATION KEY NOTES:

- NOTES:**
- ALL COLORS AND MATERIALS TO BE AS SPECIFIED BELOW. ANY AND ALL SUBSTITUTIONS TO BE APPROVED BY THE OWNERS AND ACC. PRIOR TO MATERIAL PURCHASE AND INSTALLATION. PROVIDE ACTUAL SAMPLES FOR ALL COLOR &/OR MATERIAL SUBSTITUTIONS. PROVIDE TWO 'SEPARATE BATCH' COLOR SAMPLES FOR ALL STUCCO COLOR SUBSTITUTIONS.
 - COMPOSITION SHINGLE ROOFING - INSTALL IN STRICT COMPLIANCE WITH THE WUI CODE. SEE SHT. A01, AND IN STRICT COMPLIANCE WITH MANUF.'S SPECIFICATIONS FOR EXTREME WEATHER CONDITIONS, INCLUDING SNOW, FREEZE / THAW CYCLE AND HIGH WINDS.
MANUFACTURER / COLOR: EAGLE ROOFING; TAPERED SLATE, KING5 CANYON BLEND (#44634), SEE OWNER'S APPROVED SAMPLES.
 - 2x FASCIA AND TRIM:
MANUFACTURER / COLOR: SHERWIN-WILLIAMS PAINTS, SN 7514, FOOTHILLS, GUTTER: TO MATCH TRIM, SEE OWNER'S APPROVED SAMPLES.
 - ATTIC VENT (MUSHROOM VENTS WHERE REQ'D.)
MANUFACTURER / COLOR: SHERWIN-WILLIAMS PAINTS, SN 7514, FOOTHILLS, SEE OWNER'S APPROVED SAMPLES.
 - LP HORIZONTAL SIDING, (COMPOSITE) (INSTALL IN STRICT COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS FOR EXTREME WEATHER).
MANUFACTURER / COLOR: SEE OWNER'S APPROVED SAMPLES.
(NOTE: PROVIDE AIR SPACE UNDER SIDING PER MANUF.'S RECOMMENDATIONS) WITH 2x4 OR 2x6 CORNER TRIM;
MANUFACTURER / COLOR: SEE OWNER'S APPROVED SAMPLES.
 - 4x4 POST, SEE STRUCT. W/ 2x6 HD. TRIM AT TOP AND BTM, 2x4 / 2x6 RWD. DECKING O/ 2x RWD. OR P.T. JOISTS, SEE STRUCT.
(NO RAIL REQ'D. AT LESS THAN 30" ABOVE FINISH GRADE, PROPOSED AT +/- 15" TO 21" ABOVE GRADE)
MANUFACTURER / COLOR: SEE OWNER'S APPROVED SAMPLES.
 - DECORATIVE LIGHT FIXTURES
MANUFACTURER / COLOR: BLACK OR PATINA
 - DUAL-GLAZED VINYL WINDOWS WITH WOOD TRIM.
MANUFACTURER / COLOR: MILGARD, ESSENCE SERIES, THILIGHT (BLACK) (PONDER COATED FIBERGLASS EXTERIOR, WOOD INTERIOR).
WOOD TRIM COLOR: SHERWIN-WILLIAMS PAINTS, SN 7514, FOOTHILLS, SEE OWNER'S APPROVED SAMPLES.
STUCCO TRIM COLOR: LA HABRA STUCCO, ACRYLIC STUCCO FINISH SYSTEM, COLOR TO MATCH SHERWIN-WILLIAMS, SN 7512, PAVILION BEIGE, (BODY COLOR)
 - DUAL-GLAZED VINYL PATIO DOORS WITH WOOD TRIM.
MANUFACTURER / COLOR: MILGARD, ESSENCE SERIES, THILIGHT (BLACK) (PONDER COATED FIBERGLASS EXTERIOR, WOOD INTERIOR)
WOOD TRIM COLOR: SHERWIN-WILLIAMS PAINTS, SN 7514, FOOTHILLS, SEE OWNER'S APPROVED SAMPLES.
STUCCO TRIM COLOR: LA HABRA STUCCO, ACRYLIC STUCCO FINISH SYSTEM, COLOR TO MATCH SHERWIN-WILLIAMS, SN 7512, PAVILION BEIGE, (BODY COLOR)
 - FIBERGLASS (WOOD SIMULATED) ENTRY DOOR.
MANUFACTURER / COLOR: PROVIA, EMBARQ, KNOTTY ALDER WOOD GRAIN, #002CP-431 SERIES, WITH SIDELITE #130
 - ROCK LANDSCAPE WALL-SEE SITE PLAN FOR HEIGHT & LOCATION
MANUFACTURER / COLOR: SEE OWNER'S APPROVED SAMPLES
OPTIONAL: KEystone RETAINING WALL, COUNTRY MANOR, TAN / CHARCOAL BLEND
PAVERS, CONCRETE &/OR STAMPED CONCRETE.
MANUFACTURER / COLOR: COUNTRY MANOR, TAN / CHARCOAL BLEND.
 - THE FINISH GRADE AWAY FROM THE FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'-0" PER IRC R401.3, SEE ALSO EXTERIOR WALLS WHERE CONDITIONS PROHIBIT FULL COMPLIANCE. FIELD VERIFY ALL EXISTING AND PROPOSED CONDITIONS, AND COORDINATE WITH SITE PLAN AND CODE REQUIRED SITE DRAINAGE. SHALES SHALL BE SLOPED A MINIMUM OF 2% WHEN LOCATED WITHIN 10'-0" OF THE BUILDING FOUNDATION.

ELEVATION GENERAL NOTES:

- SEE PROJECT SPECIFICATIONS, SHEET SP-1, FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
- SEE STRUCTURAL NOTES & DETAILS, BUILDING SECTIONS & KEY NOTES AND DETAILS FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
- PLATE ELEVATIONS ABOVE FINISH FLOOR ARE FOR REFERENCE ONLY. GENERAL CONTRACTOR MUST VERIFY EXACT PLATE ELEVATIONS REQUIRED WITH EXTERIOR ELEVATIONS, BUILDING SECTIONS, DETAILS, TRUSS CALCULATIONS, ACTUAL FINISH FLOOR HEIGHT AND MAXIMUM ALLOWED BUILDING HEIGHT.
- CONTRACTOR TO PROVIDE FOR ATTIC ACCESS AND VENTILATION PER IRC SECTION R006 & R007.
- VENT TERMINATIONS TO MEET MANUFACTURER AND IRC REQUIREMENTS.
- PROVIDE RAIN GUTTER ROOF DRAINAGE SYSTEM AS REQUIRED BY OWNER. FIELD CONDITIONS, GEOTECH REPORT AND THE 2012 IRC, I.E. ALL EXITS, GUTTERS, WITH DOWNSPOUTS CONNECTED TO SOLID PIPE, SHALL BE USED TO CONTAIN STORM WATER AND DIRECT IT AWAY FROM FOUNDATIONS AND IMPROVEMENTS. SEE GEOTECH REPORT.

NOTE:
SEE SHEET A01 FOR THE WILDLAND URBAN INTERFACE CODE (WUI) PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. ALL ELEMENTS OF CONSTRUCTION, I.E. ROOFS, EAVES, FASCIA, VENTS, EXTERIORS AND WALLS, WINDOWS, DOORS, APPENDAGES, I.E., DECKS, ENCLOSED UNDERFLOOR, AND GUTTERS AND DOWNSPOUTS SHALL STRICTLY COMPLY WITH ALL REQUIREMENTS OF THIS CODE.

NOTE:
SEE GEOTECHNICAL REPORT AS MAY BE PROVIDED BY GEOTECHNICAL ENGINEER FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR AND EXCAVATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH GEOTECH REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.

NOTE:
PROVIDE RADON TESTING AS REQUIRED FOR THIS AREA. EXCESSIVE RADON GASES SHALL BE MITIGATED USING A 'PASSIVE OR ACTIVE' RADON REDUCTION SYSTEM AS RECOMMENDED IN RADON REPORT AS MAY BE PROVIDED BY GEOTECHNICAL ENGINEER. CONTRACTOR, FOUNDATION AND EXCAVATION CONTRACTORS TO FAMILIARIZE THEMSELVES WITH THE RADON REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.

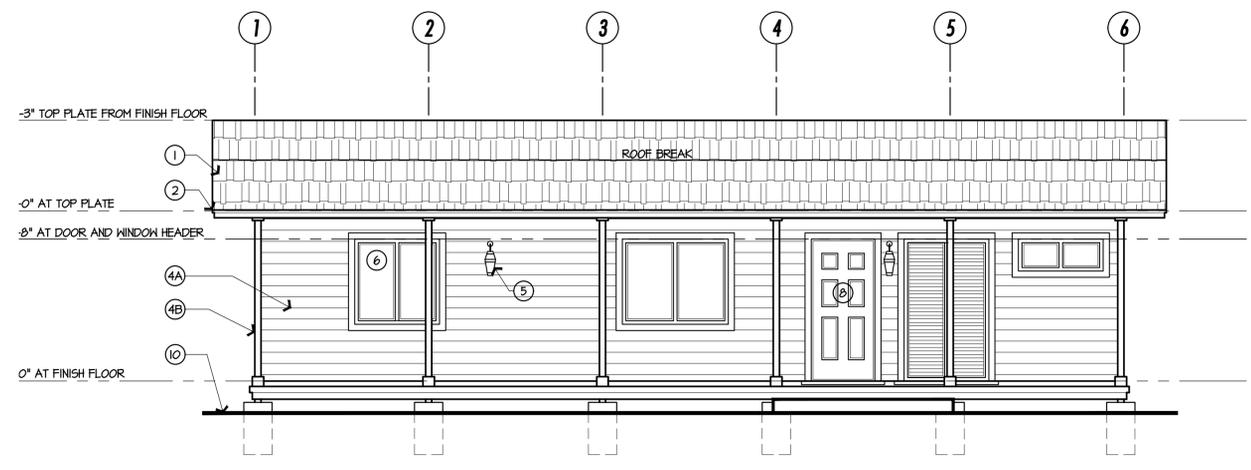
NOTE:
DESIGN-BUILD EXCAVATION CONTRACTOR TO PROVIDE EROSION CONTROL PER ALL AND THE CITY AND/OR COUNTY CODE, SEE EROSION CONTROL NOTES, SHEET A1.2.

NOTE:
PROVIDE DEFENSIBLE SPACE AS REQUIRED BY THE WUI CODE, LOCAL FIRE AGENCIES, WASHOE COUNTY ORDINANCES AND OWNERS RECOMMENDATIONS.

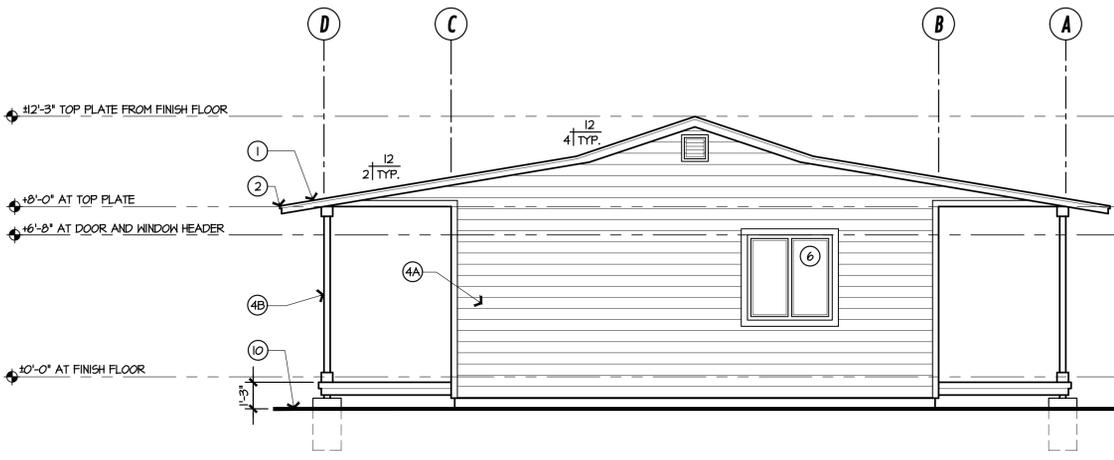
NOTE:
SEE PROJECT SPECIFICATIONS, SHEET SP-1, FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.

NOTE:
SEE DETAILS ON SHEET A1.2 FOR FOOTINGS AND UNDER SLAB DRAINAGE AND OTHER PERTINENT SITE INFORMATION.

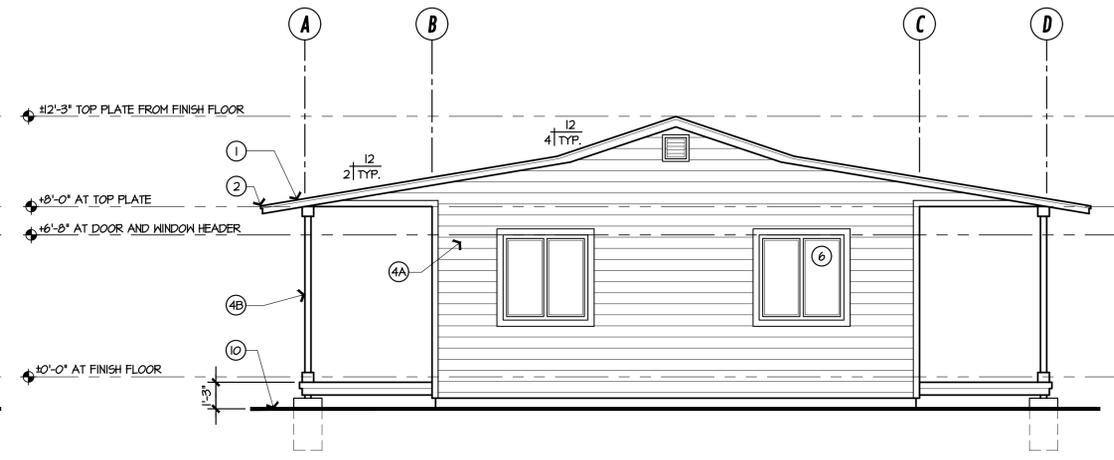
NOTE:
PROVIDE FOR 'DISASTER RELIEF SUPPLIES' STORAGE AREA AS REQ'D. BY OWNER



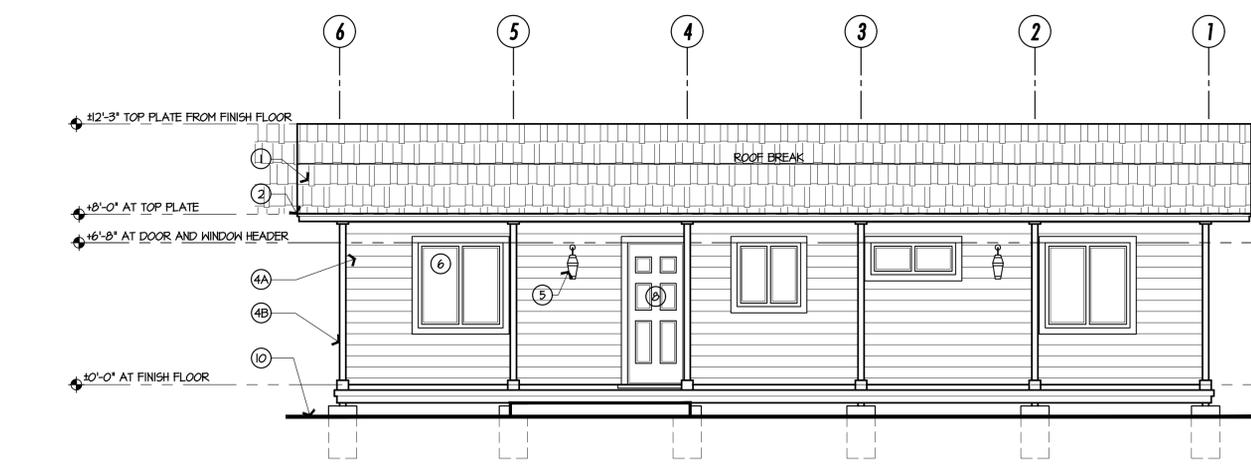
FRONT ELEVATION
SCALE: 1/4"=1'-0"
00 02 04 08 FEET



RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"
00 02 04 08 FEET



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"
00 02 04 08 FEET



REAR ELEVATION
SCALE: 1/4"=1'-0"
00 02 04 08 FEET

F:\EXPORT\EXPORT 19\19002_Boege-Doty Detached Accessory Dwelling Unit_2220 White Pine Drive, Washoe Valley, Washoe County, Nevada\19002-A3.1.dwg, 10/16/2019 11:02:55 AM, DWG To PDF.p3

ACCEPTANCE OF CONDITIONS AND APPROVAL FOR DOMESTIC WATER WELL USE FOR AN ACCESSORY DWELLING

Physical Address of Domestic Well Parcel:

2220 White Pine Dr. Washoe Valley, NV 89704

Located in the County of: ~~050-788~~ Washoe

County Assessor Parcel Number: 050-788-08

I, Kevin A Boege, the owner of the above-referenced parcel
Please Print

of land, fully understand and accept the conditions listed below and upon which this approval is made.

1. The combined water use from the well for the main residence and any accessory dwelling shall not exceed two (2) acre-feet per year as provided in Chapter 534.180 of the Nevada Revised Statutes (NRS).
2. A totalizing meter shall be installed near the discharge of the well that provides water to the main residence and the accessory dwelling. This meter shall be easily accessible for meter reading by the DWR and maintained in good working order and shall be installed to measure all water pumped from the well for the purposes of this approval. No water shall be used by the accessory dwelling until the meter has been installed.
3. The main residence and any accessory dwelling shall remain on the same parcel as determined by the County Assessor records, or this authorization shall be rescinded.
4. Water usage measurements from the totalizing meter must be submitted by the parcel owner to DWR no later than January 31st of each calendar year.

State of Nevada
County of Washoe

Signed Kevin A Boege
Owner

Subscribed and sworn to before me on 09/11/2019

Address 2220 White Pine Dr
Street Address or PO Box

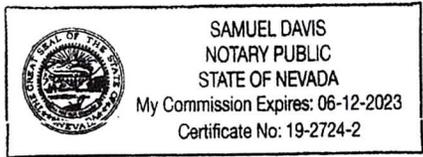
by Kevin A. Boege

Washoe Valley, NV, 89704
City, State, ZIP Code

Phone (805)-538-3985

E-mail skboege@gmail.com

Samuel Davis
Signature of Notary Public Required



Approval of Local Governing Body or Planning Commission

This request to allow an accessory building to be served by a domestic well is hereby approved subject to the attached notarized agreement.

County Assessor Parcel Number: 050-388-08

Owner Kevin A Boege

Signature _____

Print Name _____

Title _____

Agency _____

Date _____

Phone Number _____

After approval, please send original to:

**State Engineer
Nevada Division of Water Resources
901 South Stewart Street
Suite 2002
Carson City, NV 89701**

**ACCEPTANCE OF CONDITIONS AND APPROVAL FOR
DOMESTIC WATER WELL USE FOR AN ACCESSORY DWELLING**

Physical Address of Domestic Well Parcel:

2220 White Pine Dr. Washoe Valley, NV 89704

Located in the County of: Washoe

County Assessor Parcel Number: 050-388-08

I, Cynthia Sachiko Boege Please Print, the owner of the above-referenced parcel

of land, fully understand and accept the conditions listed below and upon which this approval is made.

1. The combined water use from the well for the main residence and any accessory dwelling shall not exceed two (2) acre-feet per year as provided in Chapter 534.180 of the Nevada Revised Statutes (NRS).
2. A totalizing meter shall be installed near the discharge of the well that provides water to the main residence and the accessory dwelling. This meter shall be easily accessible for meter reading by the DWR and maintained in good working order and shall be installed to measure all water pumped from the well for the purposes of this approval. No water shall be used by the accessory dwelling until the meter has been installed.
3. The main residence and any accessory dwelling shall remain on the same parcel as determined by the County Assessor records, or this authorization shall be rescinded.
4. Water usage measurements from the totalizing meter must be submitted by the parcel owner to DWR no later than January 31st of each calendar year.

State of Nevada
County of Washoe

Signed [Signature]
Owner

Subscribed and sworn to before me on 09/11/2019

Address 2220 White Pine Dr
Street Address or PO Box

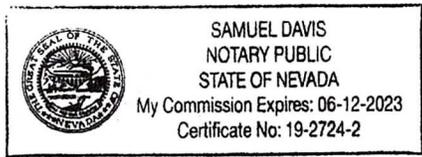
by Cynthia Sachiko Boege

Washoe Valley NV 89704
City, State, ZIP Code

Phone (805) 952-3408

E-mail Sachiku28@gmail.com

[Signature]
Signature of Notary Public Required



Approval of Local Governing Body or Planning Commission

This request to allow an accessory building to be served by a domestic well is hereby approved subject to the attached notarized agreement.

County Assessor Parcel Number: 050-388-08

Owner Cynthia Sachiko Boege

Signature _____

Print Name _____

Title _____

Agency _____

Date _____

Phone Number _____

After approval, please send original to:

**State Engineer
Nevada Division of Water Resources
901 South Stewart Street
Suite 2002
Carson City, NV 89701**

ACCEPTANCE OF CONDITIONS AND APPROVAL FOR DOMESTIC WATER WELL USE FOR AN ACCESSORY DWELLING

Physical Address of Domestic Well Parcel:

2220 White Pine Drive, Washoe Valley, Nevada 89704

Located in the County of: Washoe

County Assessor Parcel Number: 050-388-08

I, Robert D. Doty, Please Print the owner of the above-referenced parcel

of land, fully understand and accept the conditions listed below and upon which this approval is made.

1. The combined water use from the well for the main residence and any accessory dwelling shall not exceed two (2) acre-feet per year as provided in Chapter 534.180 of the Nevada Revised Statutes (NRS).
2. A totalizing meter shall be installed near the discharge of the well that provides water to the main residence and the accessory dwelling. This meter shall be easily accessible for meter reading by the DWR and maintained in good working order and shall be installed to measure all water pumped from the well for the purposes of this approval. No water shall be used by the accessory dwelling until the meter has been installed.
3. The main residence and any accessory dwelling shall remain on the same parcel as determined by the County Assessor records, or this authorization shall be rescinded.
4. Water usage measurements from the totalizing meter must be submitted by the parcel owner to DWR no later than January 31st of each calendar year.

State of Nevada

County of _____

Subscribed and sworn to before me on _____

by _____

see attached jurat

Signed

Robert D. Doty
Owner

Address 1521 Ridge Rd

Street Address or PO Box

Mokelumne Hill, CA 95245

City, State, ZIP Code

Phone 209 293 1288

E-mail bmdoty@volcanoe.net

Signature of Notary Public Required

Approval of Local Governing Body or Planning Commission

This request to allow an accessory building to be served by a domestic well is hereby approved subject to the attached notarized agreement.

County Assessor Parcel Number: 050-388-08

Owner Robert D. Doty

Signature

Print Name

Title

Agency

Date

Phone Number

After approval, please send original to:

**State Engineer
Nevada Division of Water Resources
901 South Stewart Street
Suite 2002
Carson City, NV 89701**

Jurat Certificate California only

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Amador

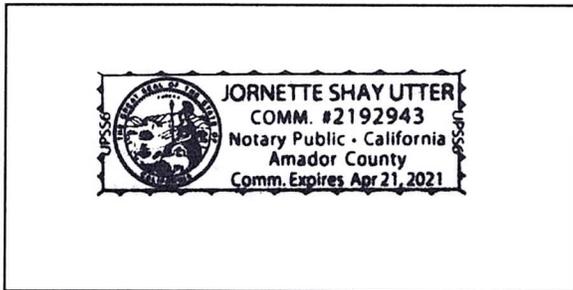
Subscribed and sworn to (or affirmed) before me on this 9th

day of September 2019 by Robert D. Doty

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

Place Seal Here

Signature



[Handwritten Signature]

Description of Attached Document

Type or Title of Document

Acceptance of conditions and approval (Nevada)

Document Date

9/9/2019

Number of Pages

3

Signer(s) Other Than Named Above

Ø